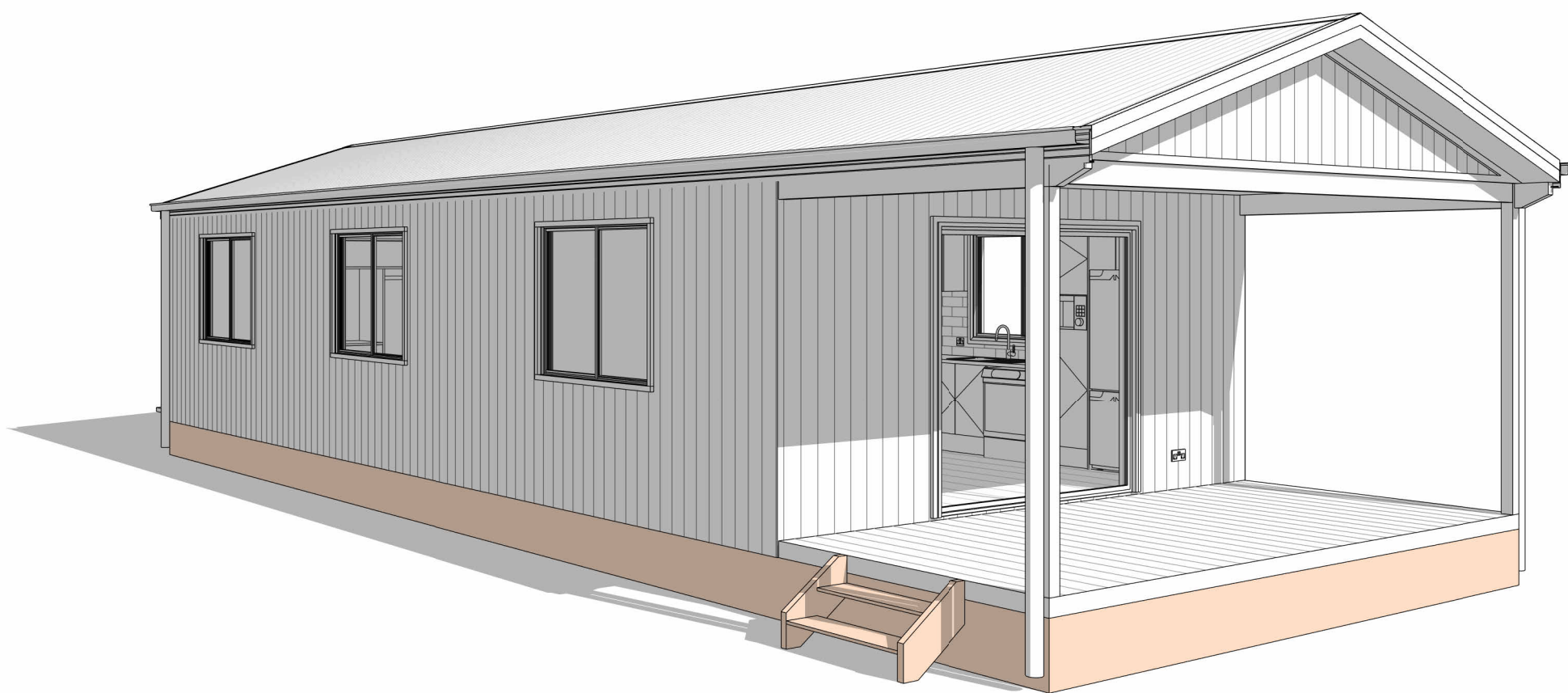


PROPOSED DUAL OCCUPANCY

AT: LOT 6 DP#259025
1 34 ALFRED ROAD SUTTON NSW 2620

FOR: TBC




SHEET LIST			
Sheet Name	Sheet No	REV	Sheet Issue Date
TITLE SHEET & LOCATION	01	1	09/08/2024
SITE PLAN & GENERAL NOTES	02	1	02/28/25
SITE PLAN & EARTHWORK	03	1	02/28/25
FLOOR PLAN	04	2	09/08/2024
ELEVATIONS	05	1	09/08/2024
ELEVATIONS	06	1	09/08/2024
PERSPECTIVE	07		09/08/2024
SECTION PLAN	08		09/08/2024
WINDOWS SCHEDULE	09		09/08/2024
DOORS SCHEDULE	10		09/08/2024
ELECTRICAL PLAN	11	1	09/08/2024
BATHROOM PLAN	12		09/08/2024
LAUNDRY PLAN	13		09/08/2024
KITCHEN PLAN	14		09/08/2024
STEEL CHASSIS PLAN	15		09/08/2024
PLUMBING PLAN	16		09/08/2024
FOOTING PLAN	17		09/08/2024
BEAM & FOOTING DETAILS	18		09/08/2024

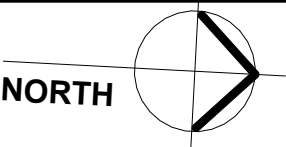
CLIENT DRAWING APPROVAL
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NAME/S: _____

DATE: _____

PLEASE NOTE THAT NO CHANGES WILL BE ENCOURAGED ON THIS PLAN AFTER SIGNING. ANY CHANGE REQUESTS POST SIGNING WILL BE SUBJECTED TO FURTHER REVIEW AND ADDITIONAL COSTS.

NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°:	6026		BAL RATING:	LOW	DRAWING: TITLE SHEET & LOCATION	
1	Issue Site Plans	04/03/2025	MTK		JOB TYPE:	PROPOSED DUAL OCCUPANCY		WIND SPEC:	N3	DRAWING N°:	
					CLIENT:			SITE SPEC:	TBC	REVISION N°: R.2	
					ADDRESS:	LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620				CHECK BY:	Planning
										DRAW BY:	MTK
					PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA			SHEET N°:	01 of 16	SCALE:	
					T: 02 4340 8300		F: 02 4340 2080				
					E: info@manor.net.au		W: www.manor.net.au				







GENERAL NOTES

- 1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB AND PROPERTY BOUNDARY. STOCK PILES SHOULD BE PROTECTED OR MOVED FROM THE SITE.
- 2. ROOF DRAINAGE TO BE CONNECTED TO THE APPROVED STORM WATER SYSTEM AS SOON AS POSSIBLE.
- 3. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY VEHICLES ARE TO BE FILLED AS SOON AS PRACTICAL.
- 4. ONLY ONE EXIT POINT SHOULD BE USED AND SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL FROM REACHING THE ROAD AND TO STOP BOGGING.
- 5. DRAINAGE DITCHES ABOVE AND BELOW CUT AND FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.
- 6. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH ALL RELEVANT BUILDING CODES AND GOVERNING AUTHORITIES REQUIREMENTS.
- 7. THESE DRAWINGS DO NOT SHOW ANY STRUCTURAL ENGINEERING DETAILS.
- 8. DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO TAKE REFERENCE OVER SCALING OF DRAWINGS. DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- 9. EXCAVATED MATERIALS RELOCATED ON SITE FOR GARDENS. BRICKS, CONCRETE, TIMBER AND OTHER PRODUCTS ARE TO BE SORTED AND DISPOSED TO LOCAL RECYCLING FACILITY AS PER WASTE BOARD GUIDE.
- 10. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE.
- 11. WHILE EVERY EFFORT HAS BEEN MADE TO DEPICT THE PROPOSAL ACCURATELY, ANY VARIATION BETWEEN THESE DRAWINGS AND THE AGREED QUOTE, THE QUOTE IS TO TAKE PREFERENCE.
- 12. THIS DEVELOPMENT WILL NOT HAVE ANY AVERSE EFFECTS ON THE ENVIRONMENT OR ITS SURROUNDS.
- 13. THERE ARE NO TREES TO BE REMOVED WITHIN THE CONSTRUCTION AREA.
- 14. LEVELS TO ASSUMED HEIGHT DATUM. REFER SITE PLAN, ELEVATIONS AND SECTION.
- 15. NO SUBTERRANEAN INVESTIGATION OF SERVICES OF SERVICES HAS BEEN CARRIED OUT.

CONTROL MEASURES

ALL PERSONS ENTERING THE SITE MUST BE MADE AWARE OF THESE DANGERS AND TAKE RELEVANT ACTION TO ENSURE THAT THEIR WORK AREA IS MAINTAINED AS SAFE TO PROCEED. IF YOU ARE UNABLE TO PROCEED DUE TO THE EXISTENCE OF AN UNSAFE WORK AREA, YOU MUST NOTIFY YOUR SITE SUPERVISOR IMMEDIATELY SO THAT ACTION CAN BE TAKEN TO REMEDY THE SITUATION.

LEGEND	
 sf	SEDIMENT FENCE
 SW	STORM WATER DRAINAGE
 S	SEWER DRAINAGE
 -W-	WATER SUPPLY

ISSUED FOR APPROVAL

CLIENT DRAWING APPROVAL
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NAME/S: _____

DATE: _____

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NO.	REVISION NOTE	DATE	BY
1	Issue Site Plans	04/03/2025	MTK

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JOB N°: 6026

JOB TYPE: PROPOSED DUAL OCCUPANCY

CLIENT: _____

ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620



PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA
T: 02 4340 8300 F: 02 4340 2080
E: info@manor.net.au W: www.manor.net.au

BAL RATING: LOW

WIND SPEC: N3

SITE SPEC: TBC

SHEET N°: 02 of 16

DRAWING: SITE PLAN & GENERAL NOTES

DRAWING N°: _____

REVISION N°: R.2

CHECK BY: Planning

SCALE: 1:2500

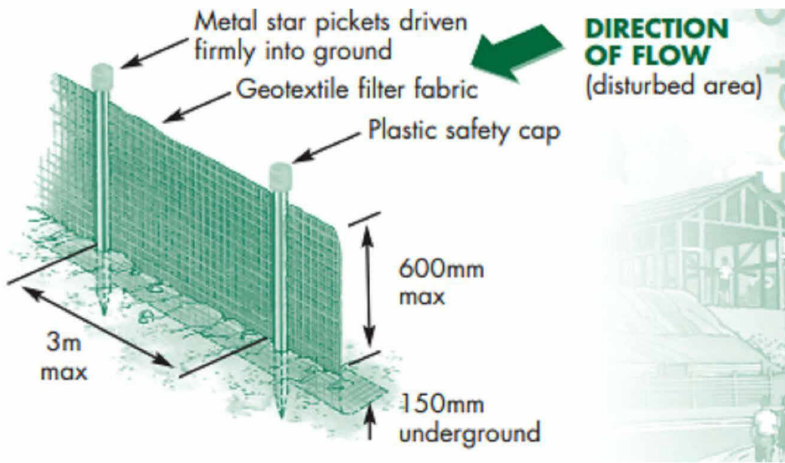
DRAW BY: MTK



NORTH

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 400MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 100% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.



LEGEND	
—sf—	SEDIMENT FENCE
—sw—	STORM WATER DRAINAGE
—s—	SEWER DRAINAGE
—w—	WATER SUPPLY

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NO.	REVISION NOTE	DATE	BY
1	Issue Site Plans	04/03/2025	MTK

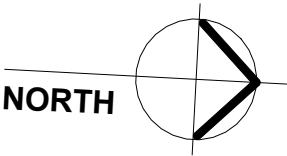
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JOB N°: 6026
JOB TYPE: PROPOSED DUAL OCCUPANCY
CLIENT: _____
ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620



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T: 02 4340 8300 F: 02 4340 2080
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BAL RATING:	LOW	DRAWING:	SITE PLAN & EARTHWORK
WIND SPEC:	N3	DRAWING N°:	
SITE SPEC:	TBC	REVISION N°:	R.2
SHEET N°:	03 of 16	CHECK BY:	Planning
		SCALE:	1:600
		DRAW BY:	MTK




CONSTRUCTION NOTES

- 1. SMOKE ALARMS (DIRECT WIRING) TO BE INSTALLED IN ACCORDANCE WITH THE NCC NSW 9.5.1 POSITION TO BE VERIFIED BY THE ELECTRICIAN.
- 2. TIMBER WORKS TO BE IN ACCORDANCE WITH AS1684.2 RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS, NCC REQUIREMENTS AND ENGINEERS DETAILS.
- 3. STRUCTURAL STEEL WORK TO BE IN ACCORDANCE WITH AS/NZ4600:2018 COLD FORMED STEEL STRUCTURES, AS 4100:2020 STEEL STRUCTURES, AS 3623:1993, DOMESTIC STEEL FRAMING NON-CYCLONIC AREAS (N3 RATED), NCC REQUIREMENTS AND ENGINEERS DETAILS.
- 4. WET AREAS IN ACCORDANCE WITH THE NCC PART 10.2
- 5. WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH THE NCC F4D8.

AREAS	
HOUSE	49.81 m²
DECK	10.80 m²
TOTAL	60.61 m²

LEGEND	
820	DOOR SIZE
XO 0909	ALUMINUM SLIDING WINDOW SIZE
MH	MANHOLE FOR ROOF CAVITY ACCESS
RH	RANGE HOOD
CT	COOK TOP
UBO	UNDERBENCH OVEN
REF	FRIDGE
WC	WATER CLOSET
LDRY	LAUNDRY
WM	WASHING MACHINE SPACE
DRY	CLOTHES DRYER SPACE
TUB	TUB
SHWR	SHOWER
V	VANITY
SA	SMOKE ALARM
SU	SHELF UNIT
HWS	HOT WATER SERVICE
DP	DOWN PIPE

NO.		REVISION NOTE		DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°: 6026			BAL RATING: LOW		DRAWING: FLOOR PLAN				
1	Added painted feature walls		13/08/2024	DH	JOB TYPE: PROPOSED DUAL OCCUPANCY		WIND SPEC: N3			DRAWING N°:						
2	Issue Site Plans		04/03/2025	MTK	CLIENT:		SITE SPEC: TBC			REVISION N°: R.2		CHECK BY: Planning				
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620		PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA			SHEET N°: 04 of 16		SCALE: 1:50@A3		DRAW BY: MTK		
							T: 02 4340 8300 F: 02 4340 2080 E: info@manor.net.au W: www.manor.net.au									

NO.	REVISION NOTE	DATE	BY
1	Added painted feature walls	13/08/2024	DH
2	Issue Site Plans	04/03/2025	MTK

NOTES:

1. DIMENSIONS SHOWN HERE ARE FRAME TO FRAME, EXCLUDING LINING/FINISHES

2. INTERNAL HEIGHT DIMENSIONS ARE FROM FLOOR LINING, EXCLUDING FINISHES

3. ALL ITEMS IN ORANGE ARE SUPPLIED AND INSTALLED BY OTHERS

CLIENT DRAWING APPROVAL

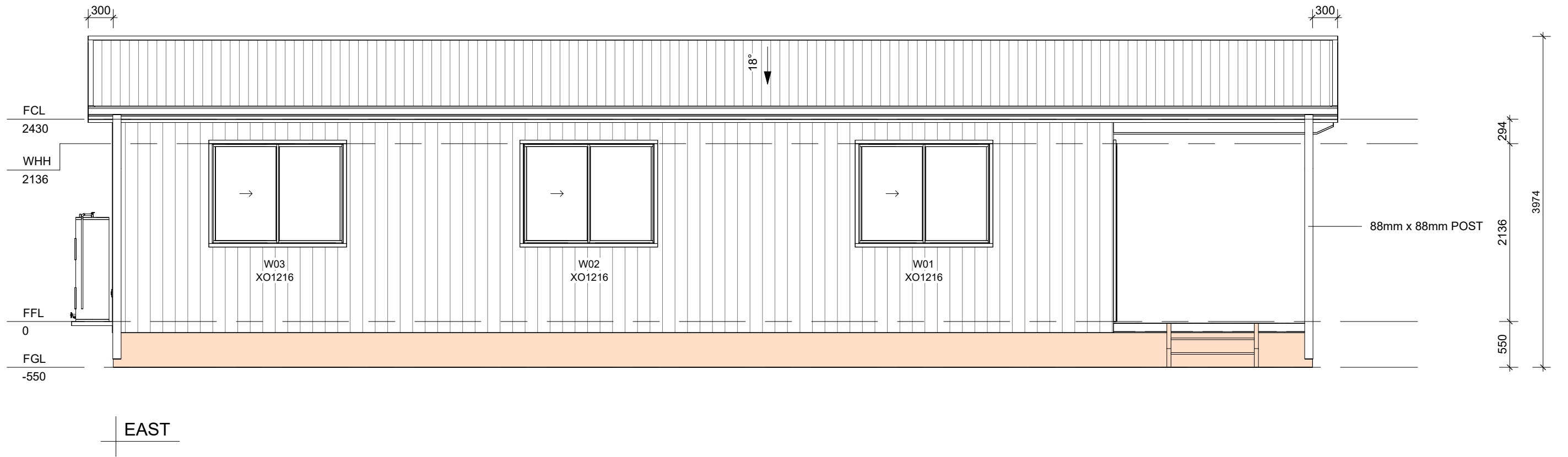
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NAME/S:

DATE:

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LEGEND	
FGL	DENOTES FINISH GROUND LEVEL
FFL	DENOTES FINISH FLOOR LEVEL
FCL	DENOTES FINISH CEILING LEVEL

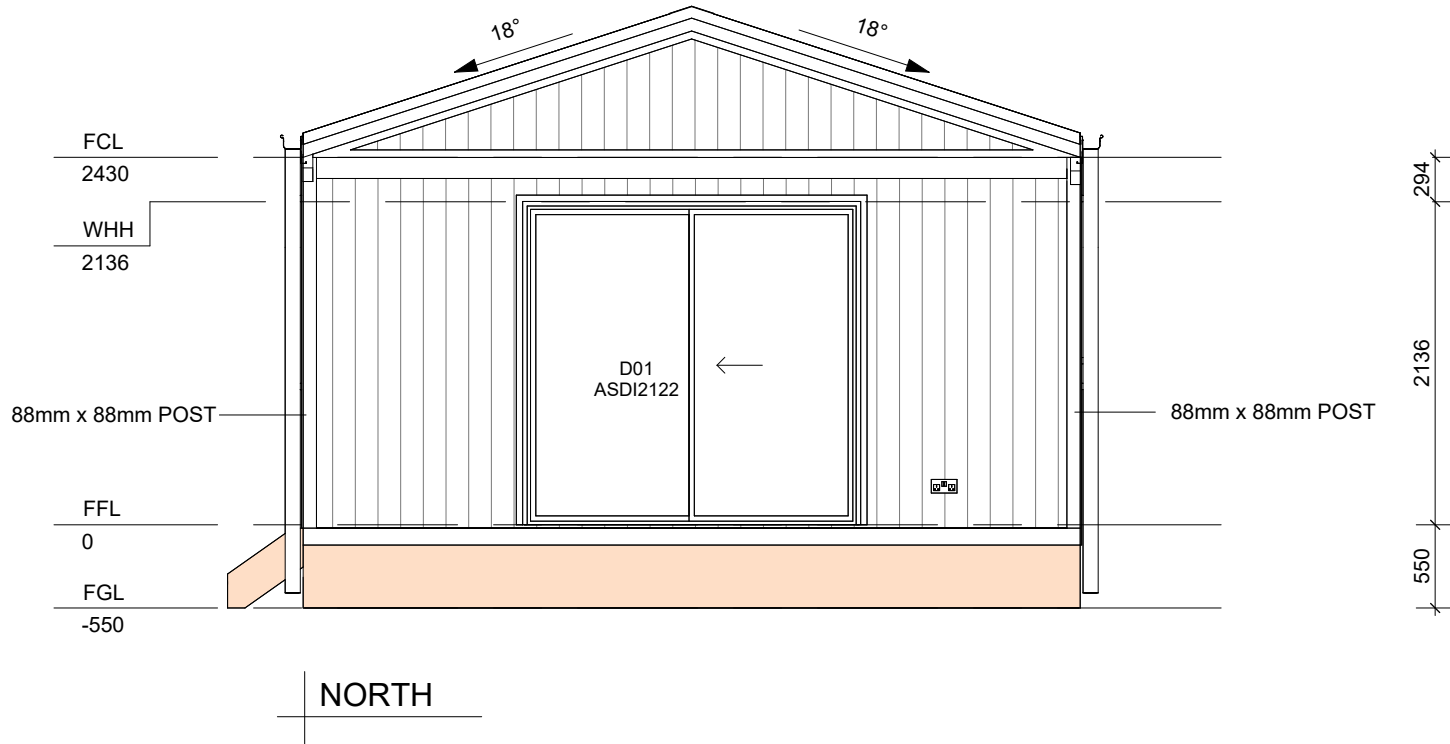
1. HEIGHTS BETWEEN FFL & FGL SHOWN HERE ARE APPROXIMATES
2. REFER TO COLOUR SELECTIONS DOCUMENT FOR ALL SELECTIONS, MATERIALS, COLOURS AND FINISHES.
3. SUBFLOOR SKIRTING, STAIRS, FOOTINGS, AND PIERS BY OTHERS

CLIENT DRAWING APPROVAL
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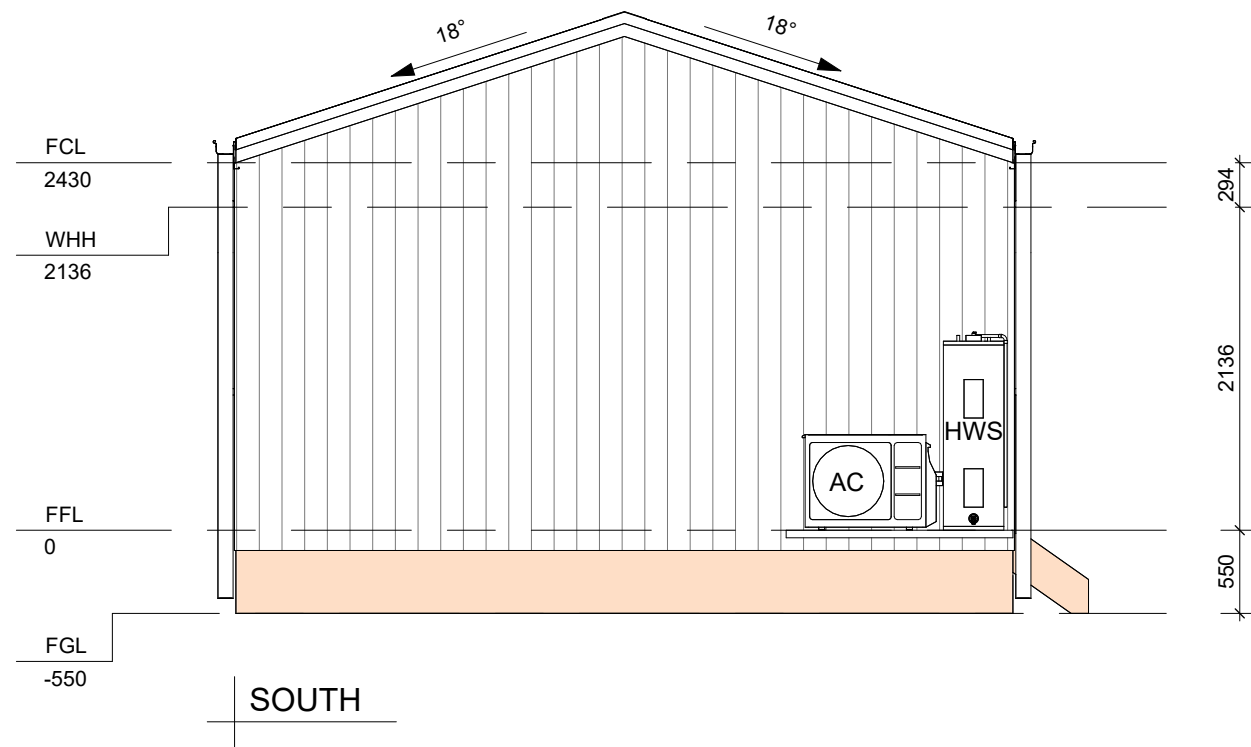
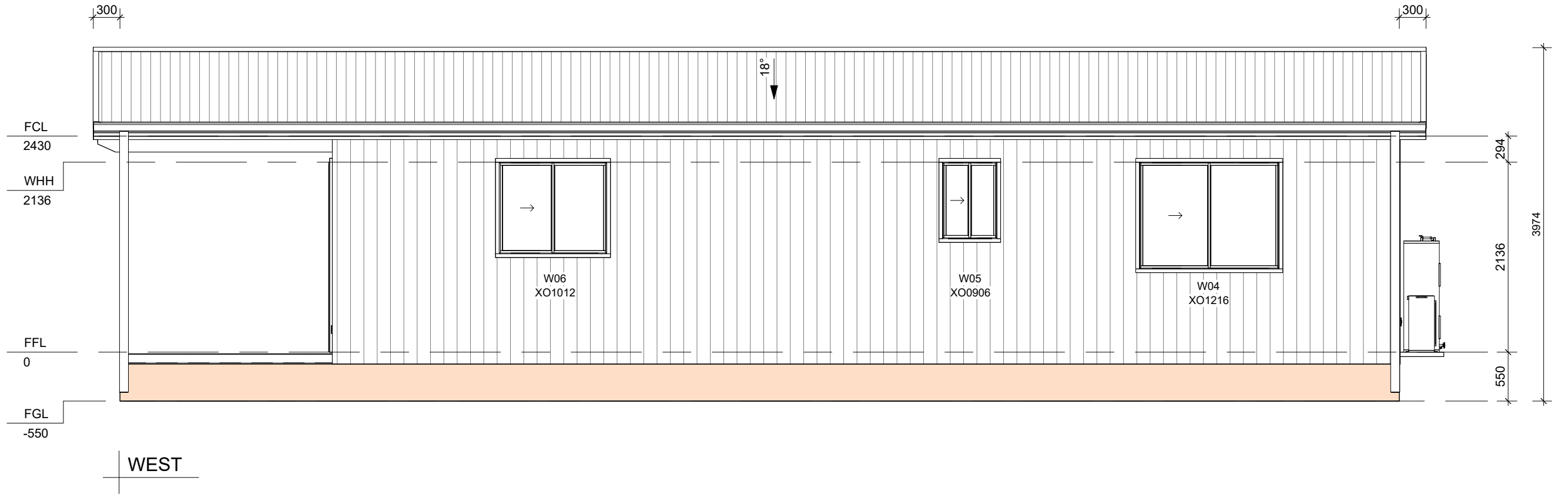


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NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK	JOB N°:	6026	BAL RATING:	LOW	DRAWING:	ELEVATIONS
1	Issue Site Plans	04/03/2025	MTK	COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB TYPE:	PROPOSED DUAL OCCUPANCY	WIND SPEC:	N3	DRAWING N°:	
					CLIENT:		SITE SPEC:	TBC	REVISION N°:	R.2
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620		SHEET N°:	05 of 16	CHECK BY:	Planning
									SCALE:	1:50
									DRAW BY:	MTK



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LEGEND	
FGL	DENOTES FINISH GROUND LEVEL
FFL	DENOTES FINISH FLOOR LEVEL
FCL	DENOTES FINISH CEILING LEVEL

1. HEIGHTS BETWEEN FFL & FGL SHOWN HERE ARE APPROXIMATES
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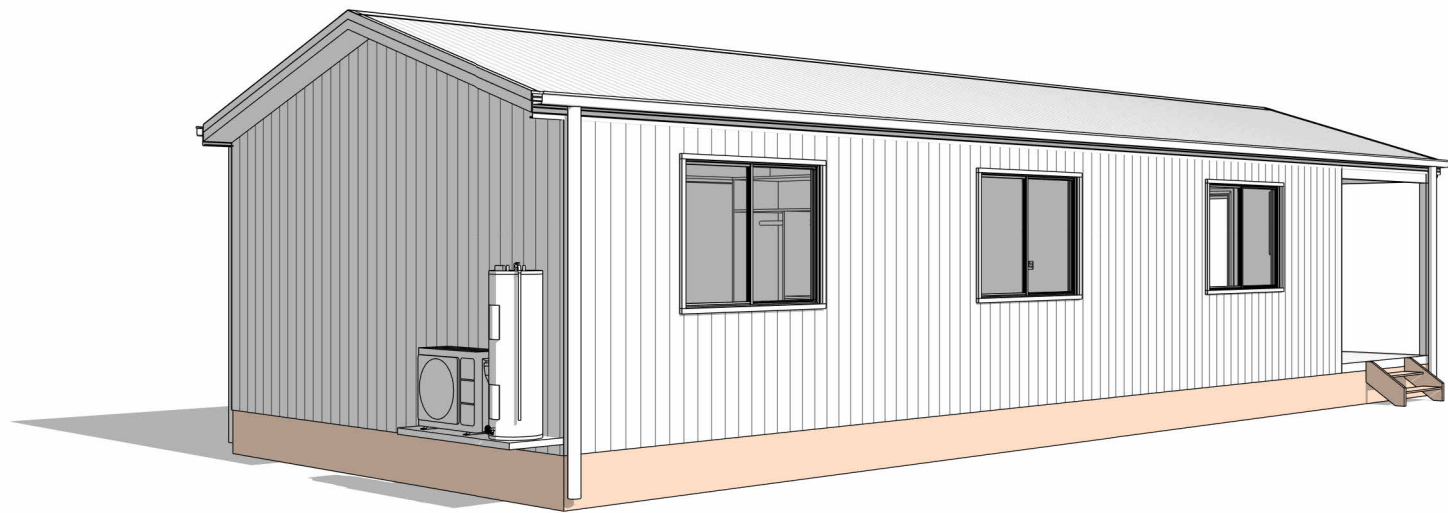
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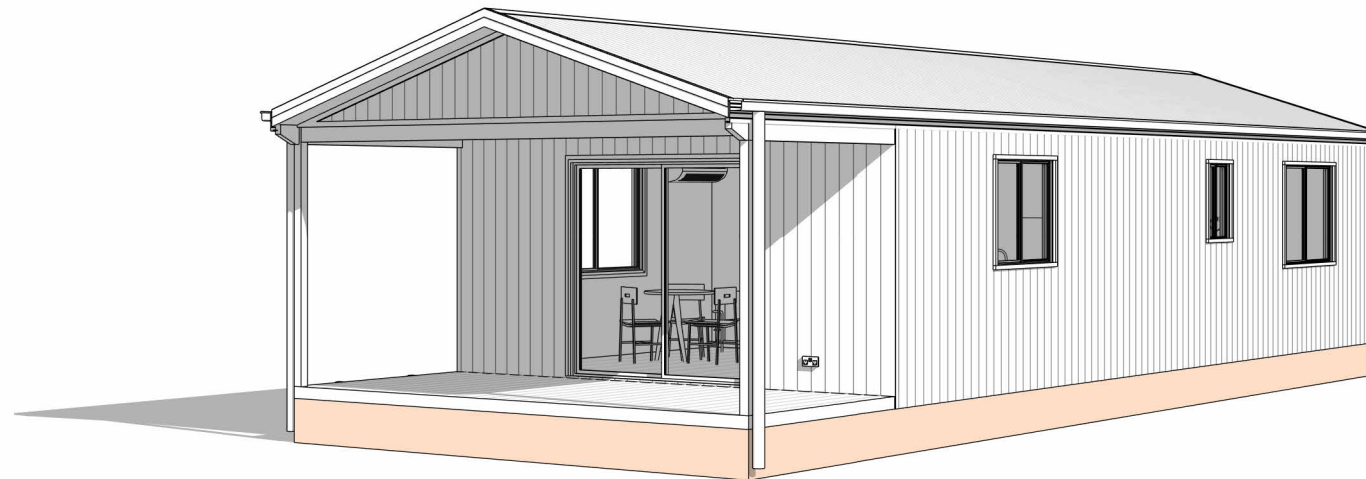
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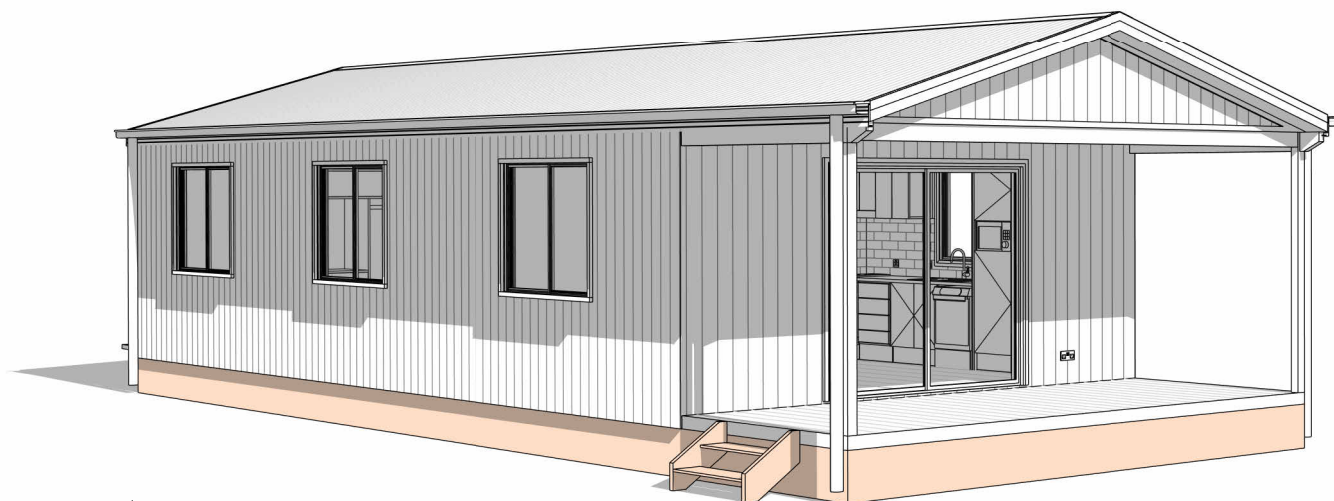
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1	Issue Site Plans	04/03/2025	MTK							



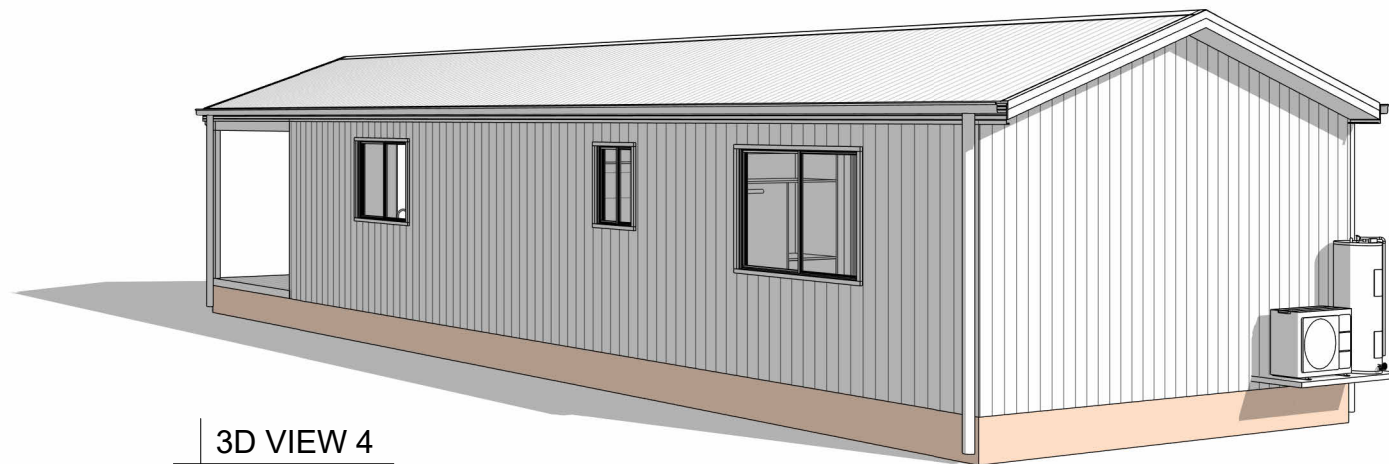
3D VIEW 1



3D VIEW 3



3D VIEW 2



3D VIEW 4

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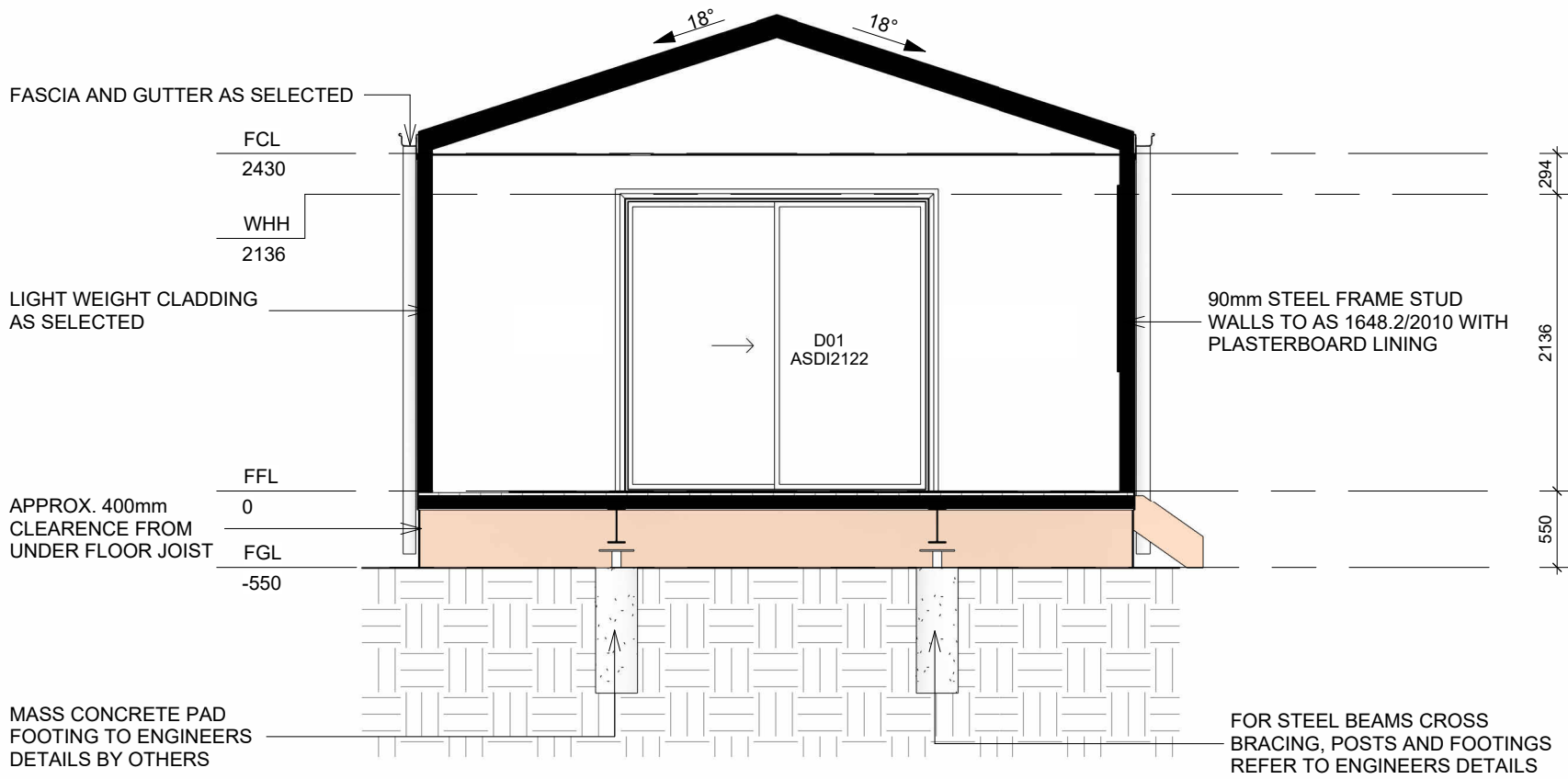
JOB N°: 6026
JOB TYPE: PROPOSED DUAL OCCUPANCY
CLIENT: _____
ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620



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BAL RATING:	LOW	DRAWING:	PERSPECTIVE
WIND SPEC:	N3	DRAWING N°:	
SITE SPEC:	TBC	REVISION N°:	R.2
SHEET N°:	07 of 16	CHECK BY:	Planning
		DRAW BY:	MTK



MAXIMUM RAKED CEILING HEIGHT: TBC
MINIMUM RAKED CEILING HEIGHT: TBC

CLIENT DRAWING APPROVAL
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NOTES:

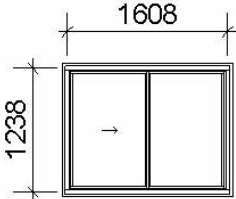
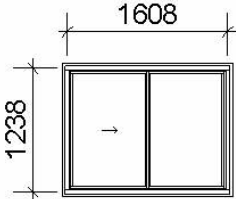
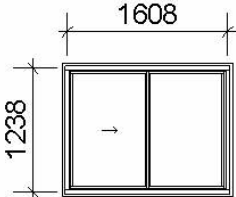
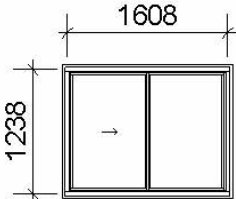
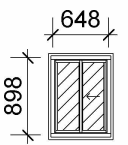
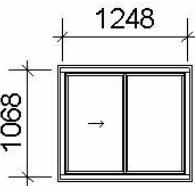
1. REFER TO COLOUR SELECTIONS DOCUMENT FOR ALL SELECTIONS, MATERIALS, COLOURS AND FINISHES.
2. WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.
3. REFER TO FLOOR PLAN & ELEVATIONS FOR OPENING DIRECTION. ARROW DETONATES WHICH WAY THE WINDOW OPENS.

CLIENT DRAWING APPROVAL
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WINDOWS										
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	GLAZING TYPE	COUNT	SCREENS
W01	LIVING/ DINING	XO1216		VIEWING FROM OUTSIDE	1238	1608	ESSENTIAL SLIDING WINDOW (52mm)	CLEAR	1	YES
W02	BED 2	XO1216		VIEWING FROM OUTSIDE	1238	1608	ESSENTIAL SLIDING WINDOW (52mm)	CLEAR	1	YES
W03	BED 1	XO1216		VIEWING FROM OUTSIDE	1238	1608	ESSENTIAL SLIDING WINDOW (52mm)	CLEAR	1	YES
W04	BED 3	XO1216		VIEWING FROM OUTSIDE	1238	1608	ESSENTIAL SLIDING WINDOW (52mm)	CLEAR	1	YES
W05	BATHROOM	XO0906		VIEWING FROM OUTSIDE	898	648	ESSENTIAL SLIDING WINDOW (52mm)	FROSTED	1	YES
W06	KITCHEN	XO1012		VIEWING FROM OUTSIDE	1068	1248	ESSENTIAL SLIDING WINDOW (52mm)	CLEAR	1	YES
TOTAL: 6										

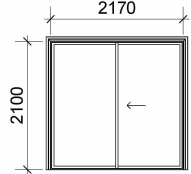
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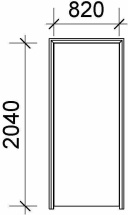
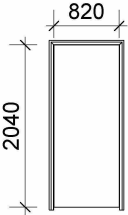
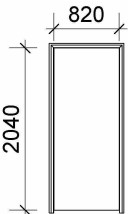
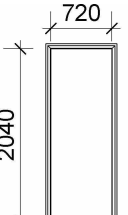
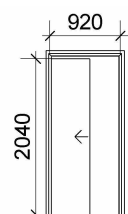
NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°: 6026		BAL RATING: LOW	DRAWING: WINDOWS SCHEDULE		
					JOB TYPE: PROPOSED DUAL OCCUPANCY		WIND SPEC: N3		DRAWING N°:	
					CLIENT:		SITE SPEC: TBC		REVISION N°: R.2	CHECK BY: Planning
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620		SHEET N°: 09 of 16		SCALE:	DRAW BY: MTK

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EXTERNAL DOORS										
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	COUNT	GLAZING TYPE	SCREENS
D01	ENTRANCE	ASDI2122		VIEWING FROM OUTSIDE	2100	2170	SLIDING DOOR	1	CLEAR	YES
TOTAL: 1										

INTERNAL DOORS							
MARK	LOCATION	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	COUNT
D02	BED 2		VIEWING FROM OUTSIDE	2040	820	INTERNAL SINGLE DOOR	1
D03	BED 1		VIEWING FROM OUTSIDE	2040	820	INTERNAL SINGLE DOOR	1
D04	BED 3		VIEWING FROM OUTSIDE	2040	820	INTERNAL SINGLE DOOR	1
D05	BATH		VIEWING FROM OUTSIDE	2040	720	INTERNAL SINGLE DOOR LIFT OFF HINGES	1
D06	LAUNDRY		VIEWING FROM OUTSIDE	2040	920	U-INTERNAL CAVITY SLIDER	1
TOTAL: 5							

NOTES:


- 1. REFER TO COLOUR SELECTIONS DOCUMENT FOR ALL SELECTIONS, MATERIALS, COLOURS AND FINISHES.
- 2. WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.
- 3. REFER TO FLOOR PLAN & ELEVATIONS FOR OPENING DIRECTION. ARROW DETONATES WHICH WAY THE WINDOW OPENS.
- 4. REFER TO SPECIFICATION AND INCLUSIONS SHEET FOR DOOR DESIGN TYPE

CLIENT DRAWING APPROVAL
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NAME/S: _____

DATE: _____

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NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°:	6026		BAL RATING:	LOW	DRAWING:	DOORS SCHEDULE		
					JOB TYPE:	PROPOSED DUAL OCCUPANCY		WIND SPEC:	N3	DRAWING N°:			
					CLIENT:			SITE SPEC:	TBC	REVISION N°:	R.2	CHECK BY:	Planning
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620			SHEET N°:	10 of 16	SCALE:	DRAW BY:		MTK
							PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA T: 02 4340 8300 F: 02 4340 2080 E: info@manor.net.au W: www.manor.net.au						

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NAME/S: _____

DATE: _____

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NO.	REVISION NOTE	DATE	BY
1	CI update	04/03/2025	MTK

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JOB N°:6026

JOB TYPE:PROPOSED DUAL OCCUPANCY

CLIENT:

ADDRESS:LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620

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W: www.manor.net.au

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BAL RATING:LOW

WIND SPEC:N3

SITE SPEC:TBC

SHEET N°:11 of 16

DRAWING:ELECTRICAL PLAN























DRAWING N°:

REVISION N°:R.2

SCALE:1:50

CHECK BY:Planning

DRAW BY:MTK

ELECTRICAL SCHEDULE			
		SA	ACTUAL
	3.5kW SPLIT SYSTEM A/C		1
	AIR CONDITIONER OUTDOOR UNIT		1
	CEILING FAN/LIGHT COMBINATION		3
	COMBINATION FAN/LIGHT/HEATER - 2 lamp EXTERNAL DUCTED		1
	DOUBLE POWER POINT @300mFFL		3
	DOUBLE POWER POINT ABOVE BENC		2
	DOUBLE POWER POINT ABOVE BENCH IN CUPBOARD		3
USB 	DOUBLE POWER POINT ABOVE BENCH WITH USB		2
	DOUBLE POWER POINT IN CUPBOARD		1
USB 	DOUBLE POWER POINT WITH USB		4
	DOUBLE WEATHER PROOF POWER POINT		1
	DOWNLIGHT		9
	EXHAUST FAN		1
	HOT WATER SERVICE		1
	ISO SWITCHS		2
	SMOKE ALARM		1
	SUB-BOARD		1
	SWITCHS 1350 ABOVE FFL		9
	TELEVISION OUTLET		1
	TWO WAY SWITCHS 1350 ABOVE FFL		2
	ELECTRICAL CABLE		
	TWO WAY CIRCUITS		
ALL SWITCHES TO BE POSITIONED VERTICALLY ALL POWER POINTS TO BE POSITIONED HORIZONATLLY			

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DATE: _____

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NOTES:

1. TILE SIZE AND LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY.
2. ALL FIXTURES AND FITTING ARE FOR ILLUSTRATION PURPOSES ONLY.

NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°: 6026 JOB TYPE: PROPOSED DUAL OCCUPANCY CLIENT: ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620	 <p>PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA T: 02 4340 8300 F: 02 4340 2080 E: info@manor.net.au W: www.manor.net.au</p>	<p>BAL RATING: LOW</p> <p>WIND SPEC: N3</p> <p>SITE SPEC: TBC</p> <p>SHEET N°: 12 of 16</p>	<p>DRAWING: BATHROOM PLAN</p> <p>DRAWING N°:</p> <p>REVISION N°: R.2</p> <p>SCALE: 1:50</p>	<p>CHECK BY: Planning</p> <p>DRAW BY: MTK</p>
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DATE: _____

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ISSUED FOR APPROVAL

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DATE: _____

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BUILDER TO CHECK AND VERIFY ALL
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JOB N°: 6026

JOB TYPE:	PROPOSED DUAL OCCUPANCY
-----------	----------------------------

CLIENT:

ADDRESS: LOT 6 1 34 ALFRED ROAD
SUTTON NSW 2620



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T: 02 4340 8300 F: 02 4340 2080

ISSUED FOR APPROVAL

BAL RATING: LOW

WIND SPEC: N3

SITE SPEC: TBC

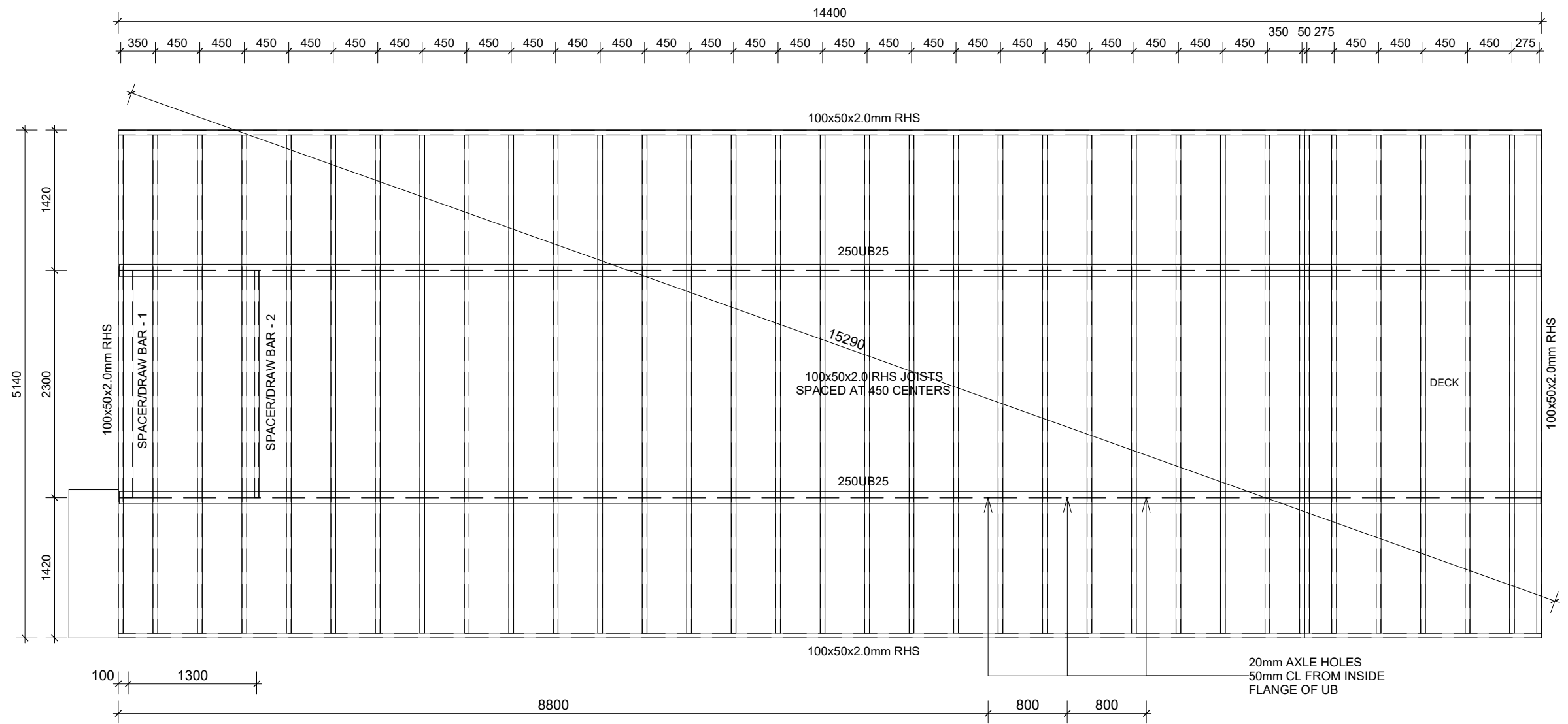
SHEET N°: 14 of 16

DRAWING: KITCHEN PLAN


DRAWING N°: _____

REVISION N°: R.2 | CHECK BY: Planning

SCALE: 1:50 DRAW BY: MTK




ISSUED FOR APPROVAL

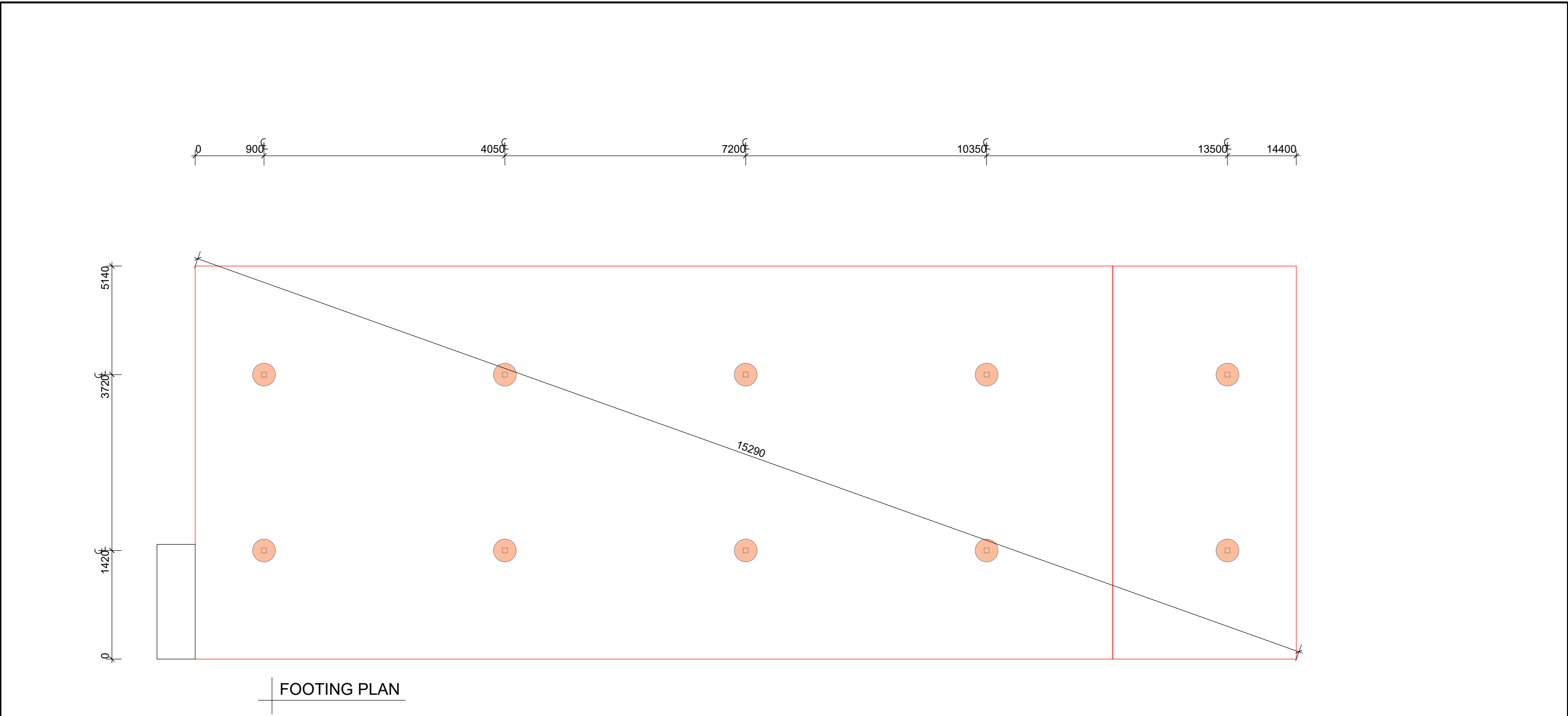
NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°: 6026	 PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA T: 02 4340 8300 F: 02 4340 2080 E: info@manor.net.au W: www.manor.net.au	BAL RATING: LOW	DRAWING: STEEL CHASSIS PLAN		
					JOB TYPE: PROPOSED DUAL OCCUPANCY			WIND SPEC: N3	DRAWING N°:	
					CLIENT:			SITE SPEC: TBC	REVISION N°: R.2	CHECK BY: Planning
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620			SHEET N°: 15 of 16	SCALE: 1:50	DRAW BY: MTK

PLUMBING LAYOUT PLAN

ALL DIMENSIONS TO CENTRE OF WASTE
OUTLET EXCEPT STEPLESS SHOWER.
DIMENSIONS FROM OUTSIDE OF
CHASSIS TO STUD WALLS

ISSUED FOR APPROVAL

NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY	JOB N°: 6026		BAL RATING: LOW	DRAWING: PLUMBING PLAN	
					JOB TYPE: PROPOSED DUAL OCCUPANCY		WIND SPEC: N3	DRAWING N°:	
					CLIENT:		SITE SPEC: TBC	REVISION N°: R.2	CHECK BY: Planning
					ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620		SHEET N°: 16 of 16	SCALE: 1:50	DRAW BY: MTK
						PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA T: 02 4340 8300 F: 02 4340 2080 E: info@manor.net.au W: www.manor.net.au			



FOOTING PLAN

1. TO BE READ IN CONJUNCTION WITH SOIL REPORT REFER TO ENGINEERS SPECIFICATIONS FOR ALL FOOTING SIZES AND DEPTH

FOOTING SCHEDULE		
10	FOOTING WITH STANDARD TELESCOPE PIER INSTALED TO GEOTECH REPORT	

FOOTING LEGEND	
TO BE READ IN CONJUNCTION WITH SOIL REPORT REFER TO ENGINEERS SPECIFICATIONS FOR ALL FOOTING SIZES AND DEPTH	
	MAIN FLOOR FOOTINGS
	VERANDAH FOOTINGS AND LANDINGS FOOTINGS

LOCATION	FOOTING TYPE	FOOTING DIAMETER	FOOTING DEPTH
VERANDAH	NA	NA	NA
UNDER MODULE	STEEL POST DETAIL	300Ø	900

CLIENT DRAWING APPROVAL
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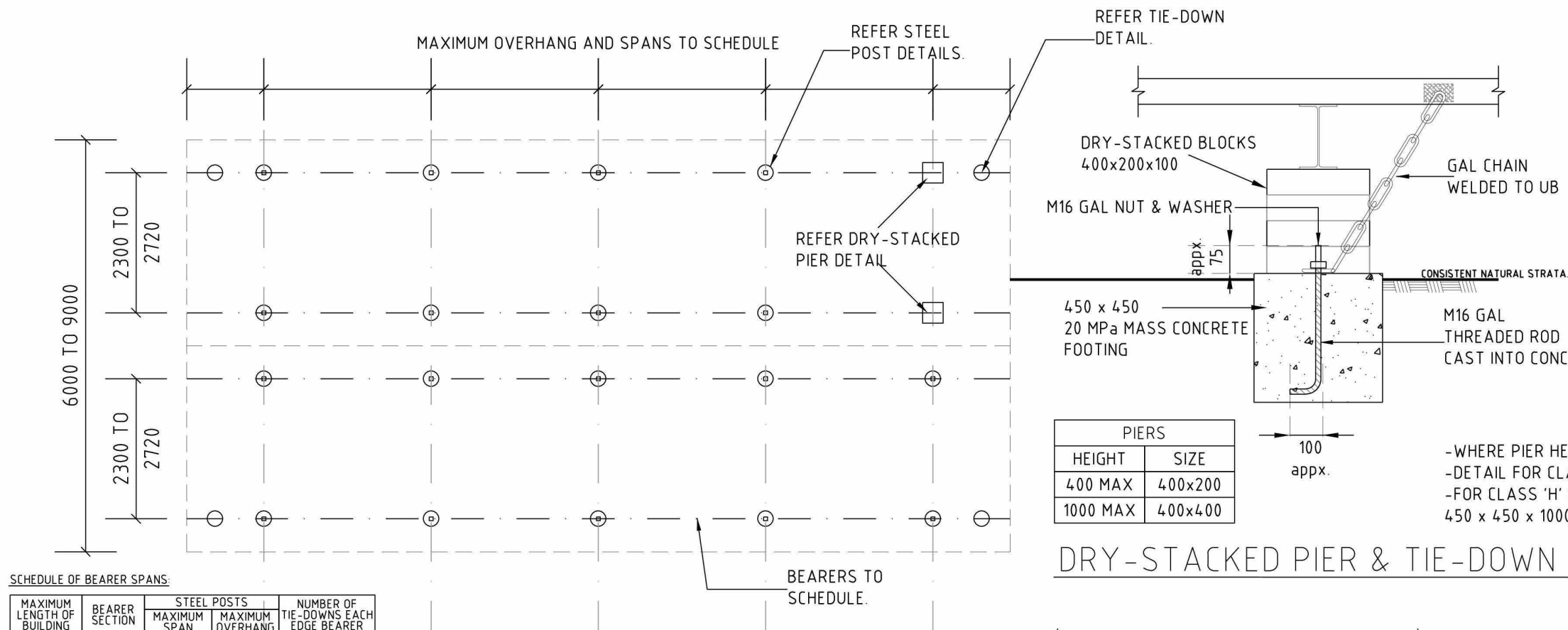
NAME/S: _____

DATE: _____

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ISSUED FOR APPROVAL



- ENGINEERS NOTES:
1. This set of drawings is to be read in conjunction with the architectural drawings.
 2. All set out dimensions are to be obtained from the architectural drawings unless specific dimensions are given on the engineering drawings.
 3. These drawings should not be scaled.
 4. All materials and workmanship are to be of the highest standard and in accordance with any relevant SAI global codes relating to thier application. Certificates to this effect from a NATA approved testing laboratory shall be furnished on request.
 5. Details suitable for 'N3' Wind Classification to AS1170.2 (Terrain Category 2)
 6. Use adjustable posts for 'H' and/or 'P' Class sites
 7. Ant Caps are not required for this detail.
 8. Where sound rock is encountered at or near ground level, Tie-down is to be achieved by epoxy-grouting 1M12 threaded rod 300mm into sound rock and attaching through the flange of the chassis beam.
 9. Where the footing of an isolated post cannot reach the specified depth due to rock strata, the size of that footing may be increased to provide the equivalent volume of concrete.
 10. These footing details comply with the requirements of AS2870 'Residential Slabs and Footings'.

SCHEDULE OF BEARER SPANS:

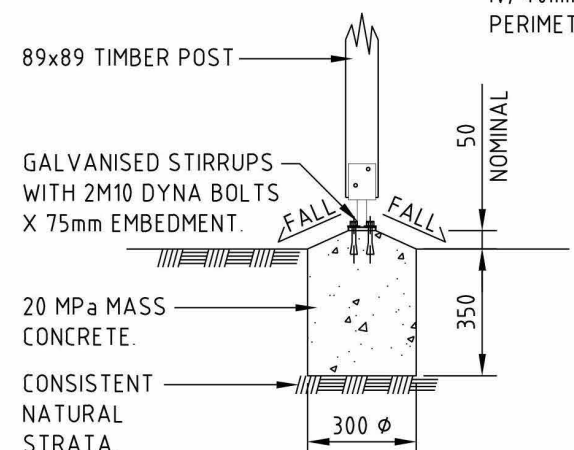
MAXIMUM LENGTH OF BUILDING	BEARER SECTION	STEEL POSTS		NUMBER OF TIE-DOWNS EACH EDGE BEARER
		MAXIMUM SPAN	MAXIMUM OVERHANG	
12.6m	200 UB 22	3.40m	1.2m	3
12.6m - 15.0m	250 UB 25	3.75m	1.5m	4
15.0m - 18.0m	250 UB 31	3.75m	1.5m	5

SCHEDULE OF PIER REINFORCEMENT

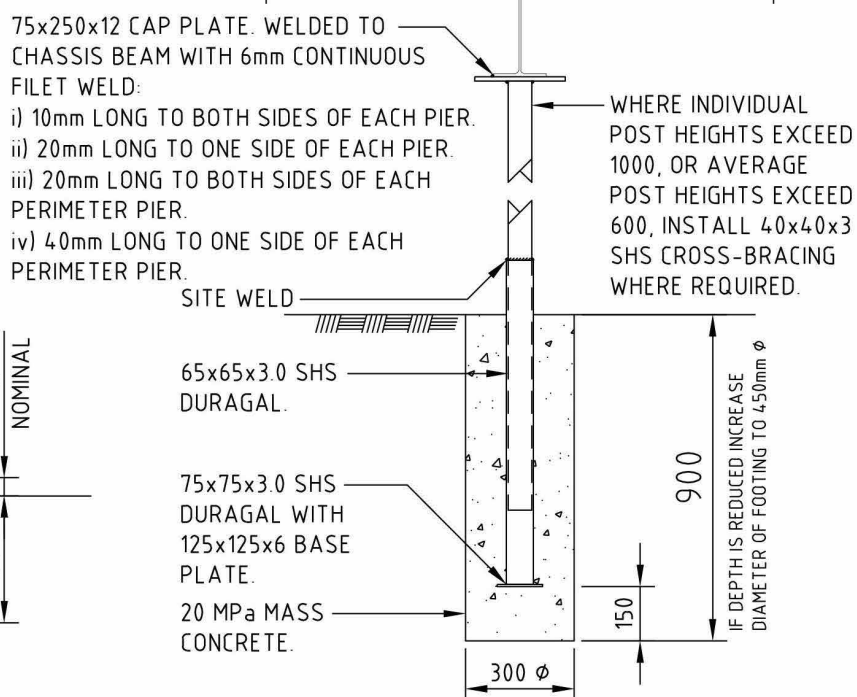
SITE CLASSIFICATION	PIER DEPTH		
	0 - 2000	2000 - 3000	3000 - 4000
S - M	N/A	N/A	2N12
H1	N/A	2N12	3N12
H2	N/A	3N12	4N12
P - E	N/A	4N12	6N12

If pier depth exceeds 4000 the enginner or building supervisor is to be contacted immediately.

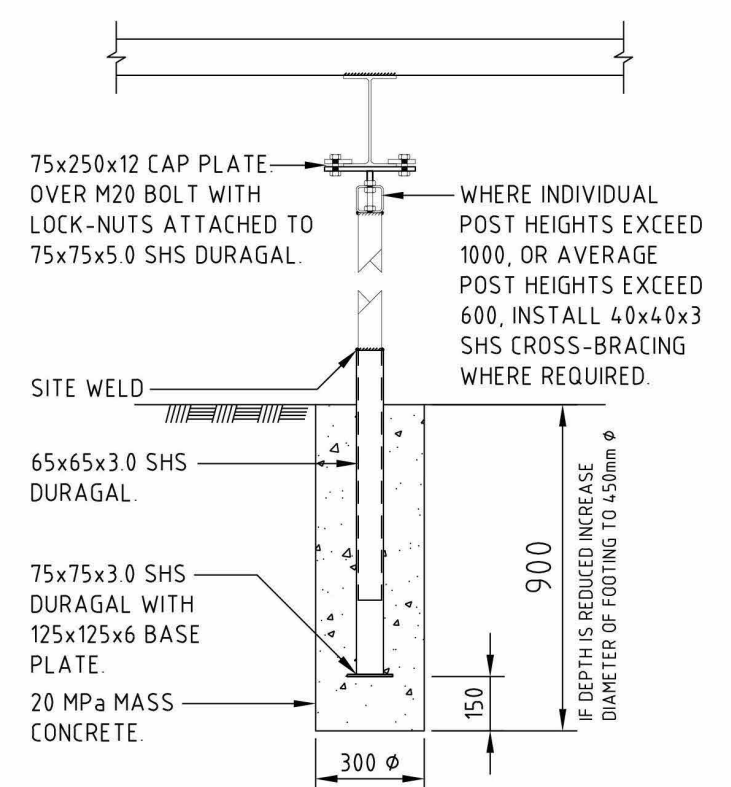
BEAM AND FOOTING LAYOUT



PAD FOOTING DETAIL



STEEL POST DETAIL



ADJUSTABLE STEEL POST DETAIL

ISSUED FOR APPROVAL


CLIENT DRAWING APPROVAL

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NAME/S: _____

DATE: _____

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NO.	REVISION NOTE	DATE	BY	BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK		JOB N°: 6026			BAL RATING:	LOW	DRAWING: BEAM & FOOTING DETAILS		
				COPY RIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY		JOB TYPE: PROPOSED DUAL OCCUPANCY			WIND SPEC:	N3	DRAWING N°:		
						CLIENT:			SITE SPEC:	TBC	REVISION N°: R.2		CHECK BY: Planning
						ADDRESS: LOT 6 1 34 ALFRED ROAD SUTTON NSW 2620				SHEET N°:	18 of 16	SCALE:	DRAW BY: MTK
									PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA				
								T: 02 4340 8300	F: 02 4340 2080				
								E: info@manor.net.au	W: www.manor.net.au				

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